

Caretaking & Cleaning Standards
Estate Services Peer Review Photo Book
HouseMark Estate Services Club

April 2009

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Introduction

HouseMark is the country's leading provider of support to social housing organisations for performance and service improvement. It works in a variety of ways with most of the country's social housing organisations to improve their focus on customer needs, service and performance efficiency. HouseMark is jointly owned by the Chartered Institute of Housing (CIH) and the National Housing Federation (NHF), two not-for-profit organisations which reinvest their surpluses into the social housing sector. HouseMark runs Performance Improvement clubs both regionally and for specific service delivery areas.

This Photo Book has been designed by members of HouseMark's Estate Services club as part of a Peer Review and benchmarking exercise.

Estate Services club

HouseMark's Estate Services club meets on a regional basis (North and South) three times a year. The aim of the club is to facilitate the exchange of benchmarking information and good practice relating to Estate Services. Club member pay an annual fee which entitles organisations to send up to two people to each meeting.

Photo Book

When the Estate Services club was formed in 2007, members said that they needed a tool to allow them to compare the quality and Value for Money of services between estates, regardless of the type of organisation, the properties being judged or where in the country they were located. As there was nothing available that fulfilled this purpose, HouseMark has compiled this Photo Book, with the invaluable help of club members,

The purpose of this Photo Book is to judge standards of cleaning. Elements such as stairs and lifts that are nearing the end of their life cycle may not respond to cleaning and maintenance as well as new elements would. Therefore, an organisation that cleans aging elements to the highest standards should therefore not be penalised in this exercise.

Peer Review

A Peer Review exercise has been developed by members of the Estate Services club: it involves residents and staff from one member organisation visiting a 'partner' organisation and scoring the quality of their Estate Services using this Photo Book.

A scorecard, which has been issued to all club members along with this book, has been designed for collecting the results of the Peer Review visits. These results can then be benchmarked against other club members using HouseMark's PI Tracking service.

Estate Services consultancy

HouseMark's consultancy team offers a bespoke training programme to prepare residents to undertake the Peer Review in a productive and professional manner. HouseMark also offers other consultancy services to help improve performance with Estate Services.

Benchmarking

HouseMark collects annual cost and performance information from members of the Estate Services club, via its online PI Tracking service. Access is available, free of charge, to all HouseMark subscribers. The main quality indicator contained in this benchmarking club is ES48 HouseMark 'Peer Review' score.

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ESTATE SERVICES ELEMENTS

Element 1 – Car parks

All car parks/parking areas

Grade **A** (scores 4)

“All Clear”

A typical example of such **A** grade conditions below:



The above **car park areas** have no litter or tree leaves.

Grade **B** (score 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



These **car park areas** typically have no more litter than you would expect as the days wears on. During certain times in the year an amount of leaves could be seen as acceptable if they appear not to have been there very long (i.e. a small build up in October could be acceptable but in May it wouldn't)

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



These **car park areas** typically have high build up of litter e.g. litter/tin cans, newspaper, old leaves etc.

Grade D (Scores 1)

“Service Failure”

A typical example of such D grade conditions below:



The **car park** cleanliness of the area is totally unacceptable, there is excessive amount of litter or hazardous conditions (e.g. broken glasses sharp objects).

Element 2 – Garages and garage areas

All garages and garage areas

Grade A (scores 4)





Garage areas should be clear of litter, weeds, debris.
Garages should be useable, have good access, be free of graffiti, fly tipping and vandalism and have lockable doors.

Grade B (scores 3)



Garage area is reasonably clean and well maintained requiring little work to bring back to top standard. It may contain small amounts of weed growth, inoffensive graffiti but should still be in a good state of repair.

Quality C (Scores 2)



Garage areas should be in an acceptable condition but could contain small amounts of debris and refuse. There may be small amounts of reported but not removed fly-tipping, weed/moss growth, insignificant evidence of inoffensive graffiti and minor vandalism and some evidence of disrepair.

Quality D (Scores 1)

The garage areas would have an excessive build-up of litter and debris; evidence of bulk refuse present that has not been removed, or made safe and reported. There will also be evidence of hazardous materials and the garages should require significant repairs. The garage area would also only score 1 if there is any evidence of offensive graffiti present.

Element 3

Paths, roadways and courtyards

Grade **A (Scores 4)**

“All Clear”

A typical example of such **A** grade conditions below:



These **paths and roadways** areas are very good, no leaves, no litter and sharp objects.

Grade **B (Scores 3)**

“Satisfactory”

A typical example of such **B** grade conditions below:



These **paths and roadways** areas typically have no more litter than you would expect as the weeks wear on.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



These **paths and roadways** areas typically have high build up of litters e.g. litter/tin cans, newspaper, old leaves etc.

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



Is given when the cleanliness of the **paths and roadways** area is totally unacceptable, where we find excessive amount of litter or hazardous conditions are found (e.g. broken glasses or sharp objects).

Element 4

Play and seating areas for hazards such as broken glass, sharps and faulty or damaged equipment

Grade A (Scores 4)

“All Clear”

A typical example of such A grade conditions below:



These **play and seating areas** are typically very good, no leaves, no litter and no sharp objects.

Grade B (Scores 3)

“Satisfactory”

A typical example of such B grade conditions below:



These **play and seating areas** typically have no more litter than one would expect as the days wears on.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



These **play and seating areas** are typically with high build up of litter e.g. litter/tin cans, newspaper, old leaves etc.

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



These **play and seating areas** are totally unacceptable, with excessive amount of litter or hazardous conditions are found (e.g. broken glasses or sharp objects).

NOTE.

A distinction should be applied between “hazardous litter or disrepair” and “unsightly – but not dangerous litter or disrepair”. The first would indicate that the playground or play area has broken equipment, broken glass, sharps or razor blades **which would result in an immediate fail** and what may be “unsightly or aged disrepair” such as leaves and a daily/weekly build up of litter which would result in a score of B or C in this element.

Care should be taken with the scoring of this element.

Element 5

Removal of litter and leaves from grass area and shrub beds

Grade A (Scores 8) (We have given this element a higher score to reflect the importance in respect of the overall appearance of the blocks and estates).

“All Clear”

A typical example of such **A** grade conditions below:

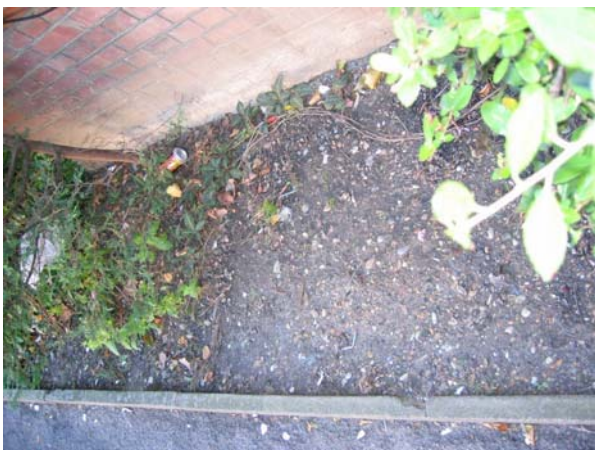


These **grass area and shrub beds** are typically very good, no litter and no small sharp objects.

Grade B (Scores 6)

“Satisfactory”

A typical example of such **B** grade conditions below:



This **grass area and shrub bed** typically has no more litter than one would expect as the weeks wear on.

Grade C (Scores 4)

“Poor”

A typical example of such **C** grade conditions below:



This **grass area and shrub bed** is typically have high build up of litter e.g. litter, tin cans, newspaper, old leaves, etc.

Grade D (Scores 2)

“Very Poor”

A typical example of such **D** grade conditions below:



This **grass area and shrub bed area** is totally unacceptable, with excessive amount of litter or hazardous conditions (e.g. broken glasses or sharp objects).

Element 6

Removal of graffiti from communal areas

Grade A (Scores 4)

“All Clear”

A typical example of such A grade conditions below:



These areas typically does not have any **graffiti** and no graffiti can be found anywhere in the building block.

Grade B (Scores 3)

“Satisfactory”

A typical example of such B grade conditions below:



This is an area with very little evidence of **graffiti** in the building block.

Grade C (Scores 2)

“Poor”

A typical example of such **C** grade conditions below:



This is an area with **graffiti** found in many places within the building block.

Grade D (Scores 1)

“Very Poor”

A typical example of such **D** grade conditions below:



This is when the cleanliness the area is totally unacceptable, where excessive and offensive levels of **graffiti** are found.

Note

As with playgrounds above some care should be taken in scoring this element.

Any evidence of offensive (i.e. racist, homophobic, sexist, religious) graffiti should result in an immediate **FAIL** and score **D** for this element.

Other graffiti which may involve a “tag” and is just unsightly would merit a score of **B** or **C** depending on the level of graffiti that is evident.

Element 7

Security of tank and meter rooms

We are only able to grade this task as **A** or **D** (pass or fail – **Score 1 or 4**), as we are checking to ensure the tank and meter rooms are kept locked. In circumstance where we identify an unlocked room, this would be a service failure.

Grade **A** (Scores 4)

“All Clear”

A typical example of such **A** grade conditions below:



This **tank room** is clearly locked.

Grade **D** (Scores 1)

“Very Poor”

A typical example of such **D** grade conditions below:



This **tank room** clearly unsecured.

Element 8

Chutes. General condition, evidence of blockages and cleanliness of external parts of hopper and surrounding walls and flooring

Grade A (Scores 4)

“All Clear”

A typical example of such **A** grade conditions below:



This **chute** is clean as it can be and also the floor is also very clean, and therefore, will be given “A” grade if all chutes are found in same state.

Grade B (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



This hopper is not perfect, with small bits of dirt present, but there is no rotten food and very little dirt on the outside.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



This **chute** is almost blocked by rubbish in the surrounding area, making it difficult for the residents to use this chute.

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



Hopper blocked with rubbish, rotting food and maggots in hopper.

Element 9

Cleanliness of communal windows on doors/landings & staircases, internal & low level external faces only

Grade A (Scores 4)

“All Clear”

A typical example of such A grade conditions below:



The **window** has no dirt, no dust, no cobwebs and generally level of cleanliness is excellent.

Grade B (Scores 3)

“Satisfactory”

A typical example of such B grade conditions below:



The **window** is as we expect it to be, generally in acceptable condition.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



The condition of the **window** is in poor condition (e.g. water streak on inside of the window).

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



This condition of the **window** is very poor (e.g. frame and glass is covered in excessive cobwebs, dust and dirt).

Element 10

Cleanliness of ledges including internal window sills

Grade A (Scores 4)

“All Clear”

A typical example of such A grade conditions below:



This is where we expect to find the condition of the **ledges** in excellent condition (totally litter free).

Grade B (Scores 3)

“Satisfactory”

A typical example of such B grade conditions below:



The **ledges** is in good condition as we expect it to be, typically no more litter than you would expect as the time wears on.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



The **ledges** and window sills are in poor condition, with high build up of litter e.g. too much evidence of old cobwebs, insects, dirt and litter.

Grade D (Scores1)

“Very Poor”

A typical example of such D grade conditions below:



The ledges condition is totally unacceptable, with excessive amount of litter and hazardous conditions (e.g. broken glasses or mirror or sharp objects).

Element 11

Check of estate lights, including bulbs/tubes. Ensuring cleanliness of and dust free light fittings external surface shades and covers.

Grade **A** (Scores 4)

“All Clear”

A typical example of such **A** grade conditions below:



This is where the cleanliness of the **light bulb**, shades and covers are in excellent condition.

Grade **B** (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



Is given when the cleanliness of the area is in good condition (or as we expect it to be), typically no more litter than you would expect as the day wears on. We expect to find some cobwebs, but very few.

Grade C (Scores 2)

“Poor”

A typical example of such **C** grade conditions below:



The **light shade** is in poor condition, with old cobwebs and very dirty surface.

Grade D (Scores 1)

“Very Poor”

A typical example of such **D** grade conditions below:



The cleanliness of the shade is in very poor condition throughout the building block, broken covers, hazardous and the bulb is out of order.

Scoring Note

For the purposes of this exercise whilst we are judging the cleanliness of estate services a communal light that is clean but **NOT WORKING** must merit a **FAIL** and therefore a score of **C or D** in the element.

Element 12

Sweeping and washing of stairs, landing, entrance halls and lobbies, washing down of tiles and painted walls. Cleaning of handrails and ledges.

Grade A (Scores 8) (We have given this element a higher score to reflect the importance in respect of the overall appearance of the blocks and estates).

“Very good”

A typical example of such **A** grade conditions below:



No dirt or litter on stairs and landings. In good condition and are swept, mopped and clean to the touch.

Grade B (Scores 6)

“Satisfactory”

A typical example of such **B** grade conditions below:



Stairs are not in great condition, but there is no dust, dirt and litter. Clean to touch.

Grade C (Scores 4) “Poor”

A typical example of such C grade conditions below:



Dust along stairs edges and in the corners. Little evidence of recent sweeping or mopping.

Grade D (Scores 2)

“Very Poor”

A typical example of such D grade conditions below:



Very dirty corners on landings, alcohol bottles on stairs and evidence of drug use.

Element 13

Sweeping and mopping of entrance halls and lobbies. Grade A (Scores 8)

(We have given this element a higher score to reflect the importance in respect of the overall appearance of the blocks and estates).

“Very good”

A typical example of such A grade conditions below:



There is no dirt in the corners and no dirt stuck on the floor. The floors are swept and mopped.

Grade B (Scores 6)

“Satisfactory”

A typical example of such B grade conditions below:



Small bits of dirt present even though it has just been swept and mopped.

Grade C (Scores 4)

“Poor”

A typical example of such **C** grade conditions below:



Cobwebs in the corners, dust along the top of the skirting board - floor has not been cleaned daily.

Grade D (Scores 2)

“Very Poor”

A typical example of such **D** grade conditions below:



Dirt and small pieces of glass mopped into the corner.

Element 14

Clean handrails, ledges and banister rails

Grade A (Scores 4)

“Very good”

A typical example of such **A** grade conditions below:



Very clean, dust free. Obviously wiped and dusted regularly.

Grade B (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



Little dusty, small bits of dirt present.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



Dirty lower section, too much old cobwebs and litter.

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



Hand rail too dirty to be used. No evidence of any wiping, dusting or cleaning.

Element 15 a Lifts – floors

Condition of lift floors and where necessary lower parts of walls

Grade A (Scores 4)

“Very good”

A typical example of such **A** grade conditions below:



No dirt in the corners and no dirt stuck on the floor. The floor appears to have been cleaned daily.

Grade B (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



Small bits of dirt present. The corners are clear and floor appears to have been cleaned daily.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



Lower walls and corners dirty.

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



Dirt and pieces of broken glass mopped into the corner.

Element 15 b Lifts – doors, panels and frames

Cleanliness of internal lift doors, external lift door panels and frames on all floors

Grade A (Scores 4)

“Very good”

A typical example of such **A** grade conditions below:



Clean door, with no mud or dust. Lower area has no foot prints and the door is clean to the touch.

Grade B (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



Clean but with some marks.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



One door is filthy, dirt come off in hands, but other doors are comparatively clean to the touch.

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



When doors on several floors are as dirty as in example above.

Element 16

Cleanliness of walls in communal areas

Grade A (Scores 4)

“Very good”

A typical example of such **A** grade conditions below:

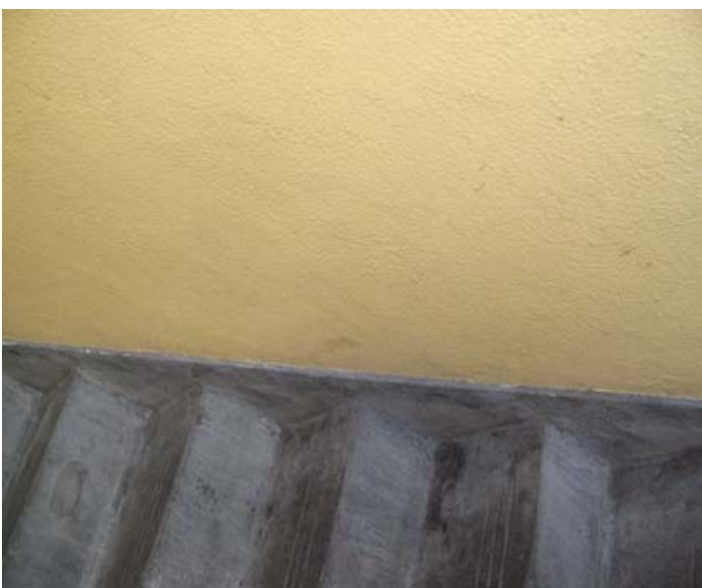


Very clean and no scuffmarks.

Grade B (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



Clean staircase walls with few Scuffmarks on the wall.

Grade C

“Poor”

A typical example of such **C** grade conditions below:



Very dirty stained wall.

Grade D

“Very Poor”

A typical example of such **D** grade conditions below:



Very dirty throughout the building block.

Element 17

Cleanliness and tidiness in bin chambers

Grade A (Scores 4)

“Very good”

A typical example of such **A** grade conditions below:



Very good bin chamber, no litter, no leaves, it has been swept out that day. Evidence of the use of disinfectant and vermin prevention.

Grade B (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



Few leaves, and no litter or food present on the chamber floor. Swept daily.

Grade C (Scores 2)

“Poor”

A typical example of such C grade conditions below:



Rotting Food and litter on the chamber floor, under the bin.

Grade D (Scores 1)

“Very Poor”

A typical example of such D grade conditions below:



Burst black plastic sack on bin chamber floor. Fly pupae on chamber floor, dirty walls.

Element 18

Communal bin areas and drying areas

Grade A (Scores 4)

“Well maintained”

A typical example of such A grade conditions below



Communal bin areas and drying areas are well maintained, litter free and clear of weeds and moss.

Grade B (Scores 3).

“Good condition”

A typical example of such B grade conditions below



Communal bin areas and drying areas are well maintained, minor evidence of litter and moss.

Grade C (Scores 2).

“In need of attention”

A typical example of such C grade conditions below



The communal bin storage area or drying area is in need of attention. There is evidence of litter which may require more frequent attention from caretaking staff.

Grade D (Scores 1).

“Very poor”

A typical example of such D grade conditions below



The condition of the communal bin storage area and drying area is not acceptable. There is evidence of litter and moss which do not appear to have been attended to for some time.

Element 19

Check security of intakes and sweep, removing all unauthorised items

Grade A (Scores 4)

“Very good”

A typical example of such **A** grade conditions below:



Intake cupboards clean and tidy, allowing easy access to switch cabinets and panels.

Grade B (Scores 3)

“Satisfactory”

A typical example of such **B** grade conditions below:



Intakes clean but with some objects on the floor, not obstructing access.

Grade C (Scores 2)**“Poor”**

A typical example of such C grade conditions below:



Intake cupboard is dusty and litter on floor provides good bedding material for rats.

Grade D (Scores 1)**“Very Poor”**

A typical example of such D grade conditions below:



Cupboard is full of toys and building materials or full of rubbish and litter obstructing switches.

Element 20

Removal of lumber (fly tipping) from all internal and external areas to a safe storage point as necessary

Grade A (Scores 8) (We have given this element a higher score to reflect the importance in respect of the overall appearance of the blocks and estates).

“Very good”

A typical example of such A grade conditions below:



or



The area is completely cleared of lumber.

Grade B (Scores 6)

“Satisfactory”

A typical example of such B grade conditions below:



or



A single item on landing not obstructing the way.

Grade C (Scores 4)

“Poor”

A typical example of such C grade conditions below:



or



Some furniture in the landing corner, shopping trolley in the corridor, rubbish deposited in chute area.

Grade D (Scores 2)

“Very Poor”

A typical example of such D grade conditions below:



or



Unsecured fridge on communal landing.
Lumber moved to a single location but left unsecured and could cause injury or potential fire hazard.

Element 21 – Estate Signage & Notice Boards

Grade **A (scores 4)**

Sub Element - Estate Maps & Guides



Estate map should be in good condition, be graffiti free and contain: at least 4 of the following elements -

- Block locations
- 'you are here' indicator
- Details of the Estate or Housing office (if there is one)
- Indicators of parking, grassed and play areas
- Tenants Hall (if there is one)

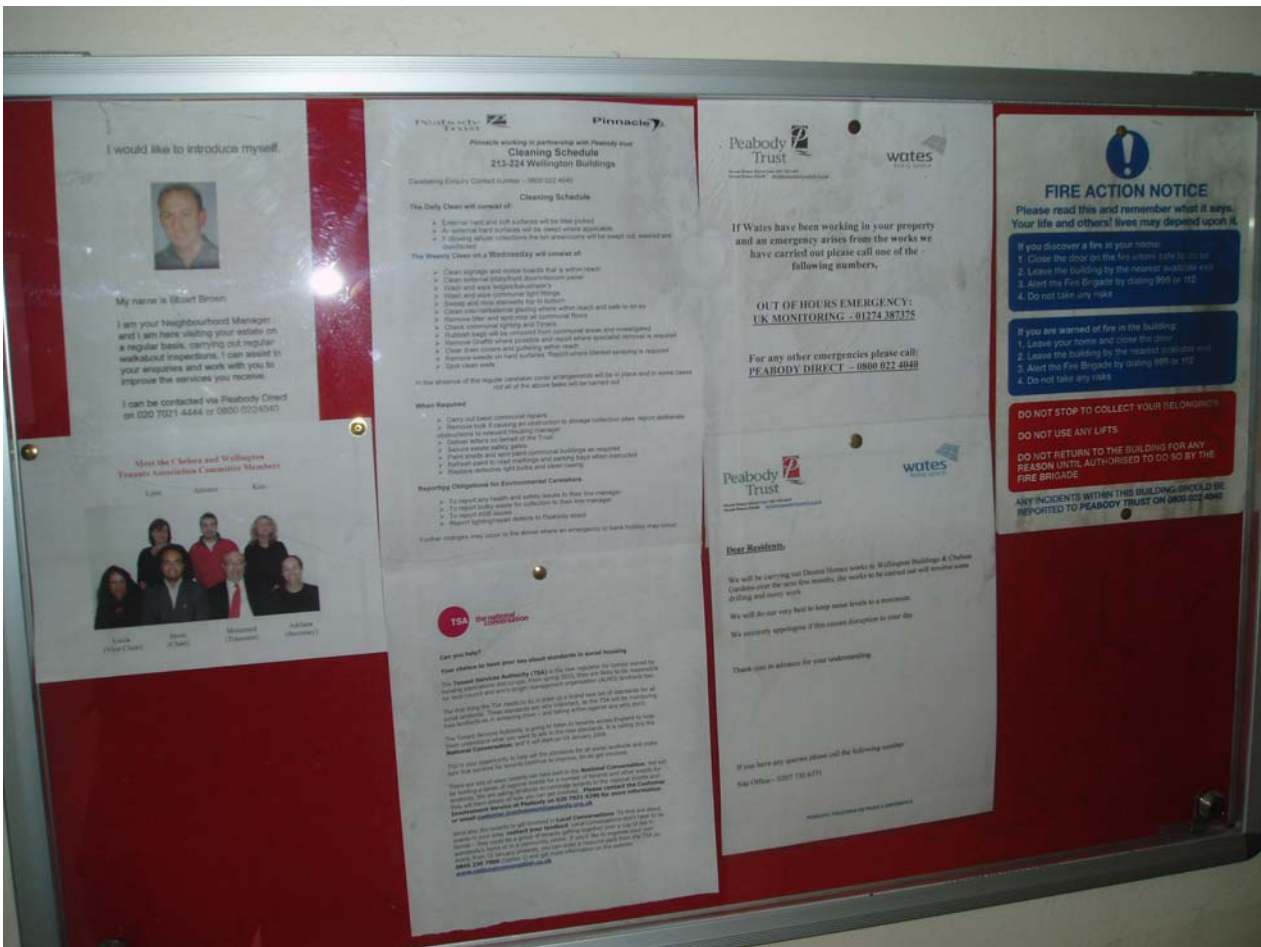
If the estate has no Housing Office and no Tenants Hall, the maximum score can be awarded if all other elements are included.

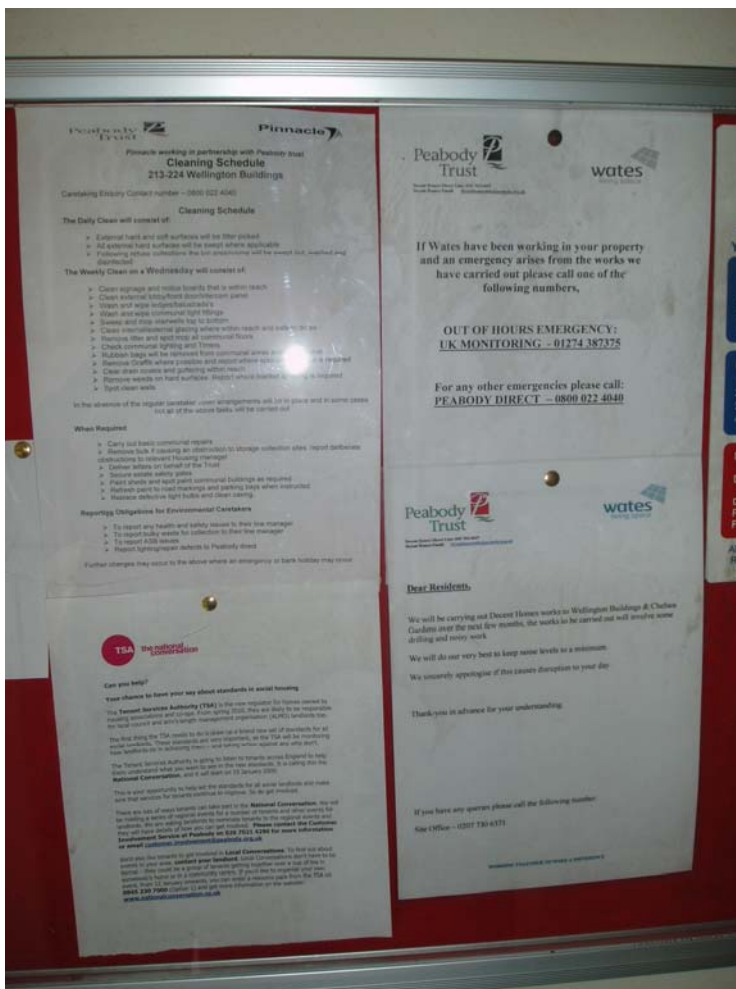
Sub element - Block Signage



Block name signs should be clear, easily visible, graffiti and vandalism free and if appropriate should have the organisations name/log visible

Sub Element - Block Notice Boards



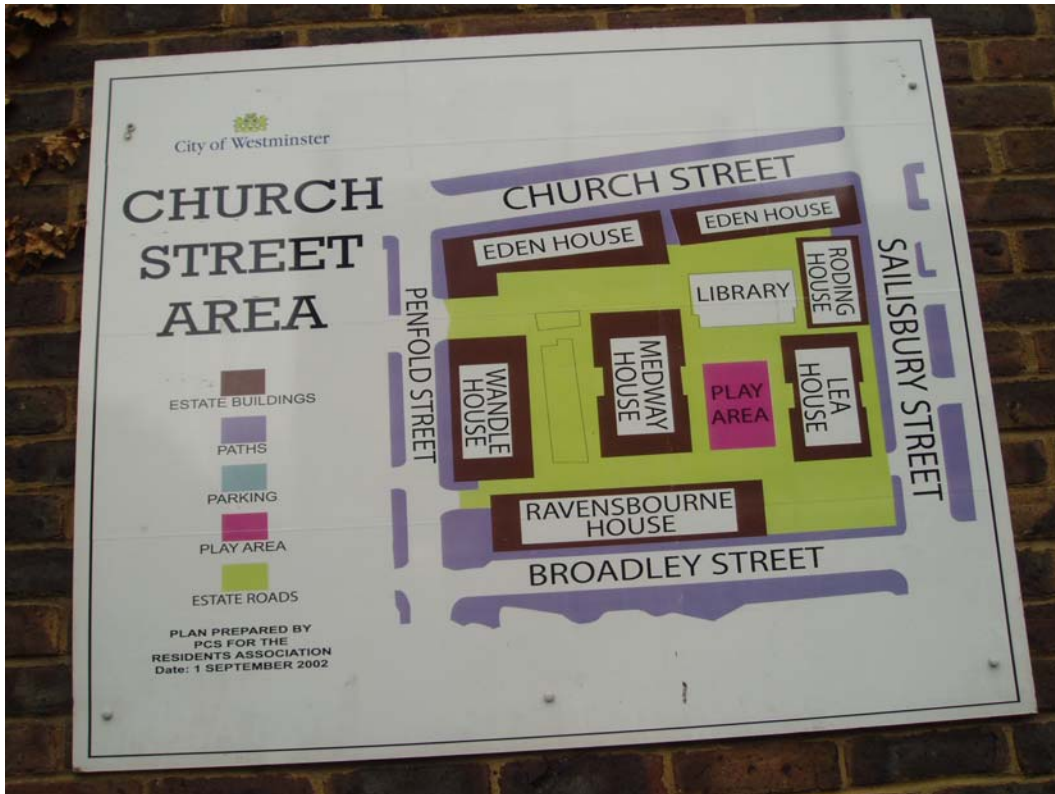


The notice board (normally inside block entrance) should be in good condition and contain relevant and up to date information. This should include at least 4 of the following elements:

- a) Details of Housing Office staff with photos and contact details (phones & e-mail)
- b) Estate Services schedules giving dates when cleaning and/or grounds maintenance will be undertaken
- c) Tenant or Resident Association details (officers and events etc)
- d) Repairs reporting details (phone number & e-mail address if appropriate)
- e) Out of hours contacts details (repairs, ASB, fly tipping etc)
- f) Action in the event of fire

Special Scoring Note

In order to score 4 an organisation’s signage and notice boards should meet the majority of the criteria outlined for each of the 3 elements indicated above.

Grade B (scores 3)**Sub Element - Estate Maps & Guides**

Estate map should be in good condition, be graffiti free and contain: at least 3 of these elements-

- a) Block locations
- b) 'you are here indicator'
- c) Details of the Estate or Housing office (if there is one)
- d) Indicators of parking, grassed and play areas
- e) Tenants Hall (if there is one)

Sub Element - Block Signage



Block name signs should be clear, easily visible, graffiti and vandalism free and if appropriate should have the organisations name/log visible

Sub Element - Block Notice Boards



The notice board (normally inside block entrance) should be in reasonably good condition and contain relevant and up to date information. This should include at least 3 of the following elements:

- a) Details of Housing Office staff with photos and contact details (phones & e-mail)
- b) Estate Services schedules giving dates when cleaning and/or grounds maintenance will be undertaken
- c) Tenant or Resident Association details (officers and events etc)
- d) Repairs reporting details (phone number & e-mail address if appropriate)
- e) Out of hours contacts details (repairs, ASB, fly tipping etc)
- f) Action in the event of fire

Quality C (Scores 2)

Sub Element Estate Maps & Guides



In this category Estate maps should be in reasonable condition, have a little insignificant graffiti (that doesn't obscure the information) and contain at least 2 of these elements-

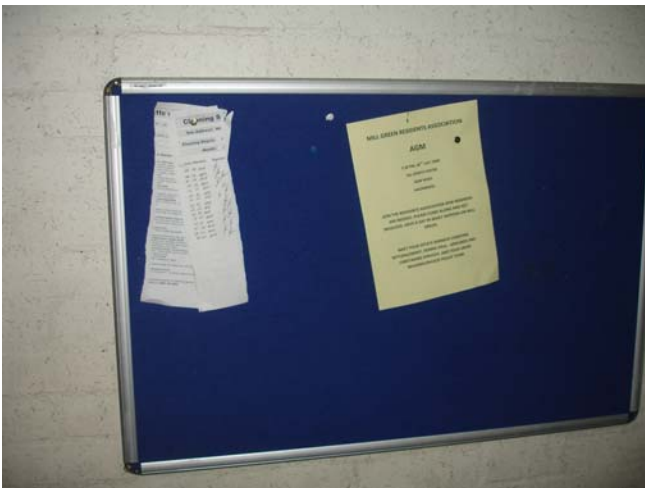
- a) Block locations
- b) 'you are here indicator'
- c) Details of the Estate or Housing office (if there is one)
- d) Indicators of parking, grassed and play areas
- e) Tenants Hall (if there is one)

Sub Element - Block Signage



Block name signs should be clear, easily visible, have little or no graffiti and be vandalism free. In this category they are unlikely to have the organisations name/log visible.

Sub Element - Block Notice Boards



There should at least be evidence of a notice board which contains at least 2 of the following elements:

- a) Details of Housing Office staff with photos and contact details (phones & e-mail)
- b) Estate Services schedules giving dates when cleaning and/or grounds maintenance will be undertaken
- c) Tenant or Resident Association details (officers and events etc)
- d) Repairs reporting details (phone number & e-mail address if appropriate)
- e) Out of hours contacts details (repairs, ASB, fly tipping etc)
- f) Action in the event of fire

Quality D (Scores 1)

Sub element - Estate Maps & Guides

If there is no evidence of Estate Plans or notice boards then the organisation will be deemed to score 1 in this category.

Sub element - Block Signage

If there is no evidence of block signage or if it is of a lower standard than Quality C then the organisation will be deemed to score 1.

Sub Element - Block Notice Boards

If there is no evidence of block signage or if it is of a lower standard than Quality C then the organisation will be deemed to score 1.



Element 22

Grounds Maintenance – grassed areas

Grade A (Scores 8) (We have given this element a higher score to reflect the importance in respect of the overall appearance of the blocks and estates).

“Very good”

A typical example of such A grade conditions below:



or



Grass has been recently cut and any associated shrubs are clearly well maintained

Grade B (Scores 6)

“Good”

A typical example of such B grade conditions below:



Or



Grass in need of some minor attention but likely to be restored with routine maintenance

Grade C (Scores 4)

“Poor”

A typical example of such C grade conditions below:



Grass areas are overgrown, in a poor condition and need to be cut back or trimmed

Grade D (Scores 2)

“Very poor”

A typical example of such D grade conditions below:



Grass has clearly not been attended to for some time e.g. growth of grass onto footpaths, evidence of bonfires and length of grass.

Note.

Most landlords do not remove arisings allowing them to “mulch” down. Although most residents do not like this, if the grass has obviously been cut but arisings remain in the vicinity the organisation **should NOT** be marked down for this.

Element 23

Grounds Maintenance – weed clearance Grade **A** (Scores 4)

“All Clear of weeds”

A typical example of such **A** grade conditions below

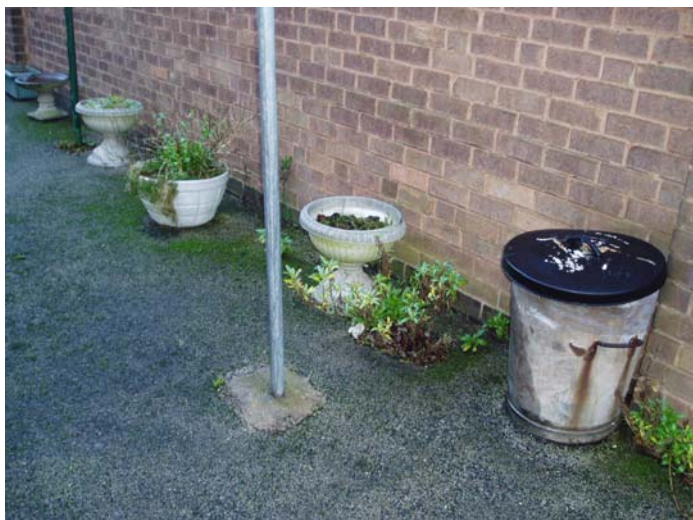


The area is completely free of weeds. They have been killed and dead weeds removed.

Grade **B** (Scores 3)

“Generally Clear of weeds”

A typical example of such **B** grade conditions below



The area is generally free of weeds. Any remaining weeds will be dealt with by seasonal maintenance.

Grade C (Scores 2)

“Evidence of weeds”

A typical example of such C grade conditions below



There is evidence of weeds that have been sprayed but have not been removed or not sprayed for a long period.

Grade D (Scores 1)

“Evidence of weeds”

A typical example of such D grade conditions below



There is evidence of weeds that appear to have never been attended to.

Element 24

Grounds Maintenance – shrub bed and hedge maintenance

Grade A (Scores 4)

“Very Good”

A typical example of such A grade conditions below



Shrub beds and hedges are well maintained, cut back and attractive to the eye.



Grade B (Scores 3)

“Good”

A typical example of such **B** grade conditions below



Shrub beds and hedges are well maintained, but in need of minor attention.

Grade C (Scores 2)

“In need of attention”

A typical example of such **C** grade conditions below



Shrubs or hedges in need of attention but likely to be restored with routine maintenance.

Grade D (Scores 1)

“Very Poor”

A typical example of such **D** grade conditions below



The shrub bed or hedge is overgrown, looks to have not been attended to for a long period of time and has the potential to be a hazard or risk to residents.



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